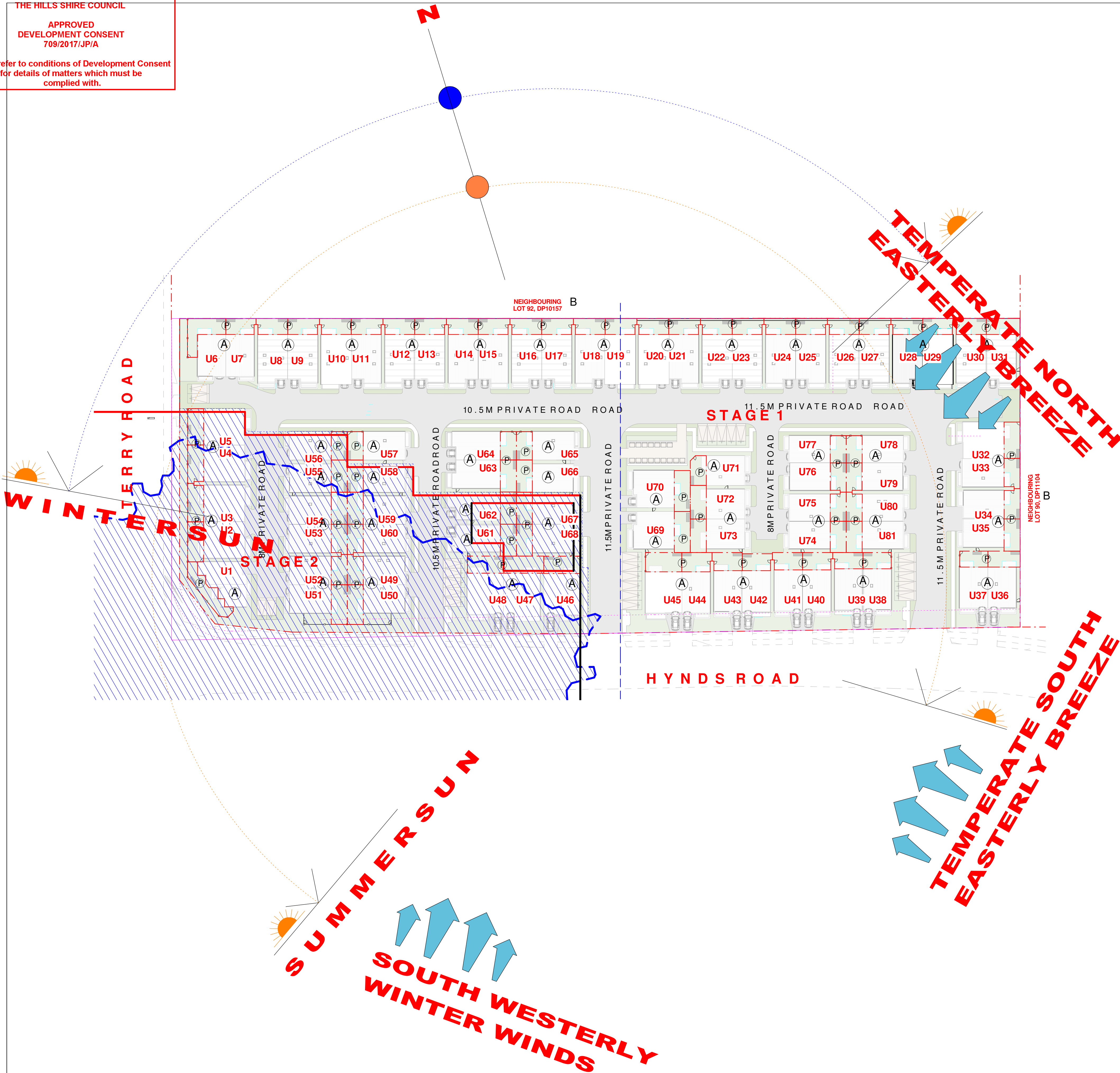


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DEVELOPMENT CONSENT
709/2017/JP/A
Please refer to conditions of Development Consent
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complied with.



LOCATION MAP

Thermal Performance Specifications

Project: 47 Hynds Road
Box Hill NSW 2765
BASIX Certificate:
942939M_03

Specifications refer to all 81 Dwellings

Building Elements	Material	Insulation Details
External Walls	Brick Veneer	R2 Bulk Insulation
External Wall Color	Various as per plan	
Internal Walls	Plasterboard on studs	N/A
Ceiling	Plasterboard	R2.5
Roof	Various as per plan	Sarking
Floors	Concrete slab on ground	
Windows	Aluminum Frame Single Glazed Clear	Uval 6.40 SHGC 0.69

BASIX Specifications

Project: 47 Hynds Road
Box Hill NSW 2765
BASIX Certificate:
942939M_03

Specifications refer to all 81 Dwellings

Water Commitments

Shower Heads:	3 Star (>4.5 but <= 6 L/min)
Toilets:	3 Star
Kitchen and Bathroom Taps:	3 Star
Rainwater Tank	1200L

Energy Commitments

Hot Water System:	Gas Instantaneous 6 Star
Bathroom, Kitchen, Laundry Ventilation:	Individual Fans ducted
Air Conditioning (Heating & Cooling):	1 phase cooling 2.5 Stars heating 2.5 Stars
Cooktop and Oven	Gas Cooktop/ Electric Oven

Please refer to BASIX report dated 19/12/2019 for detailed commitment requirements

Energy Rating Certificate Number 942939M_02

☐ single-dwelling rating
☒ multi-unit development (attach listing of ratings) heating _____ stars
If selected, data specified is the average across the entire development cooling _____ MJ/m²

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

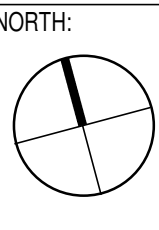
Assessor Name/Number: Ingrid Tuffin VIC/BDV/13/1652

Assessor Signature: _____ Date: 20/08/2019

- SITE BOUNDARY
- WIND DIRECTION
- PROPOSED BUILDING
- NEIGHBOURHOOD PROPERTIES
- PRIVATE OPEN SPACE
- VEHICULAR MOVEMENT
- VEHICULAR ACCESS
- EXISTING TREE

REV	DATE	DESCRIPTION	BY
7	24.10.19	AMENDED AS PER COUNCIL EMAIL 06.09.19	HR
6	20.08.19	BASIX & THERMAL SPECIFICATIONS REVISED	JM
5	19.07.19	AMENDED AS PER COUNCIL MEETING 09.07.2019	JM
4	02.05.19	AMENDED AS PER COUNCIL EMAIL 15.03.2019	JM
3	06.02.19	AMENDED AS PER COUNCIL LETTER 23.11.2018	JM
2	05.11.18	AMENDED AS PER COUNCIL LETTER 09.10.2018	JM
1	20.08.18	ISSUED FOR SECTION 4.55	TT

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PROJECT:
**47 HYNDS ROAD,
BOXHILL NSW 2765**

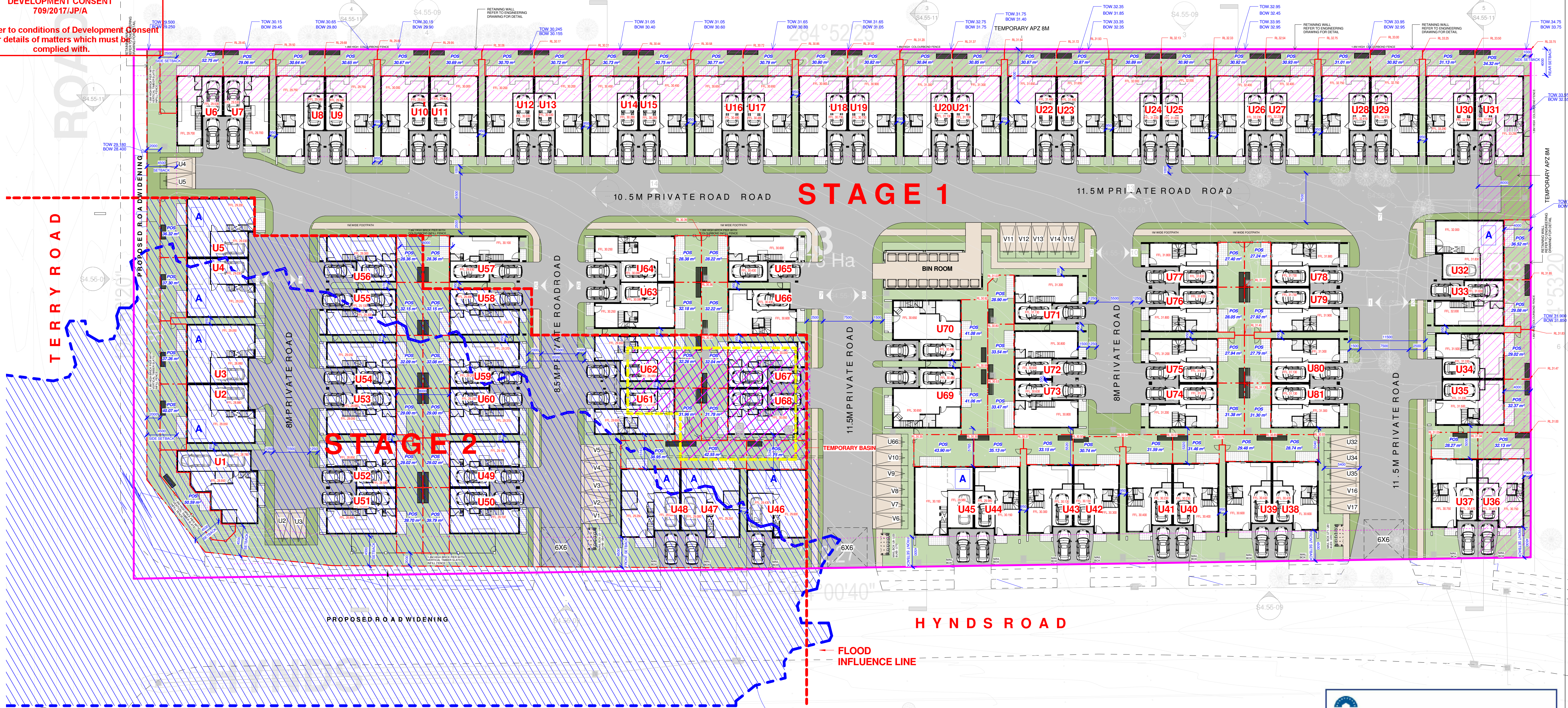
LOT NUMBER:
LOT 93 DP 10157

DRAWING TITLE:
SITE ANALYSIS

S4.55 ISSUE			
PROJECT No. 82	DATE: SEPT.2019	DRAWING No. S4.55-01	REV: 7
DRAWN BY:	SCALE: As indicated	ISSUED BY: HR	
R:\Hynds Road 47 BOX HILL\05 S96\ARCHITECTURAL\07\HyndsRoad47_BOXHILL_DA R06.rvt			

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DEVELOPMENT CONSENT
709/2017/JPI/A
Please refer to conditions of Development Consent
for details of matters which must be
complied with.

LOT 92, DP10157



1 SITE PLAN
S4.55-02 1:300

COMPLIANCE TABLE

PROPOSED DEVELOPMENT FACILITATE THE CONSTRUCTION OF 81 RESIDENTIAL TOWNHOUSES

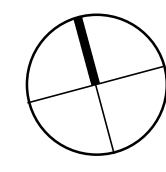
47 HYNDS ROAD, BOXHILL NSW 2765		LOT 93 DP10157		12 HOUSES FIVE BEDROOM 54 HOUSES FOUR BEDROOM 15 HOUSES THREE BEDROOM			
SITE AREA	16730M ²	81 DWELLING - DOUBLE STOREY					
CONTROL	REQUIRED	PROVIDED	COMPLIANCE	CONTROL	REQUIRED	PROVIDED	COMPLIANCE
SITE COVERAGE	PERMITTED MAX. 50% = 8365 M ²	PROPOSED = 5932.0M ² 35.46%	YES	FRONT SETBACK	4.5M	4.5M OR GREATER	YES
LANDSCAPED AREA	MIN. 30% OF SITE AREA REQUIRED = 5019 M ²	PROPOSED = 5292.0 M ² 31.63%	YES	REAR SETBACK	4M	4M OR GREATER	YES
CAR PARKING	1 CAR PARKING SPACE PER EACH DWELLING PLUS 1.5 SPACES PER 3 OR MORE BEDROOM DWELLING	162 CAR SPACES	YES	SIDE SETBACK	0.9M	0.9M OR GREATER	YES
VISITOR CAR PARKING	1 CAR SPACES/5 DWELLING	17 CAR SPACES	YES	CORNER SETBACK	2M	2M OR GREATER	YES
ADAPTABLE DWELLINGS	10% OF ALL MULTIDWELLING HOUSING TO BE DESIGNED CAPABLE OF ADAPTATION FOR DISABLED OR ELDERLY RESIDENTS REQUIRED 81 NOS	(9) ADAPTABLE DWELLINGS	YES	CORNER SETBACK TOWARDS PUBLIC ROAD	4.5M	4.5M OR GREATER	YES
				INTERNAL BUILDING	5M	5M OR GREATER	YES
				MAX. BUILDING HEIGHT	14M	7.9M OR LESS	YES
				PRIVATE OPEN SPACE	MIN. 16M ² WITH MIN. DIMENSION OF 3M OR 10M PER DWELLING BALCONY OR ROOF TOP WITH MIN. DIMENSION 3M	MIN. 16M ² P.O.S. PER DWELLING OR GREATER	YES
				FENCING	1.8M HIGH	1.8M HIGH CBF	YES

8	29.01.20	AMENDED AS PER COUNCIL EMAIL, 16.01.2020	JM
7	24.10.19	AMENDED AS PER COUNCIL EMAIL, 06.09.19	HR
6	20.08.19	BASIX & THERMAL SPECIFICATIONS REVISED	JM
5	19.07.19	AMENDED AS PER COUNCIL MEETING, 08.07.2019	JM
4	02.05.19	AMENDED AS PER COUNCIL EMAIL, 15.03.2019	JM
3	06.02.19	AMENDED AS PER COUNCIL LETTER, 23.11.2018	JM
2	05.11.18	AMENDED AS PER COUNCIL LETTER, 08.10.2018	JM
REV	DATE	DESCRIPTION	BY

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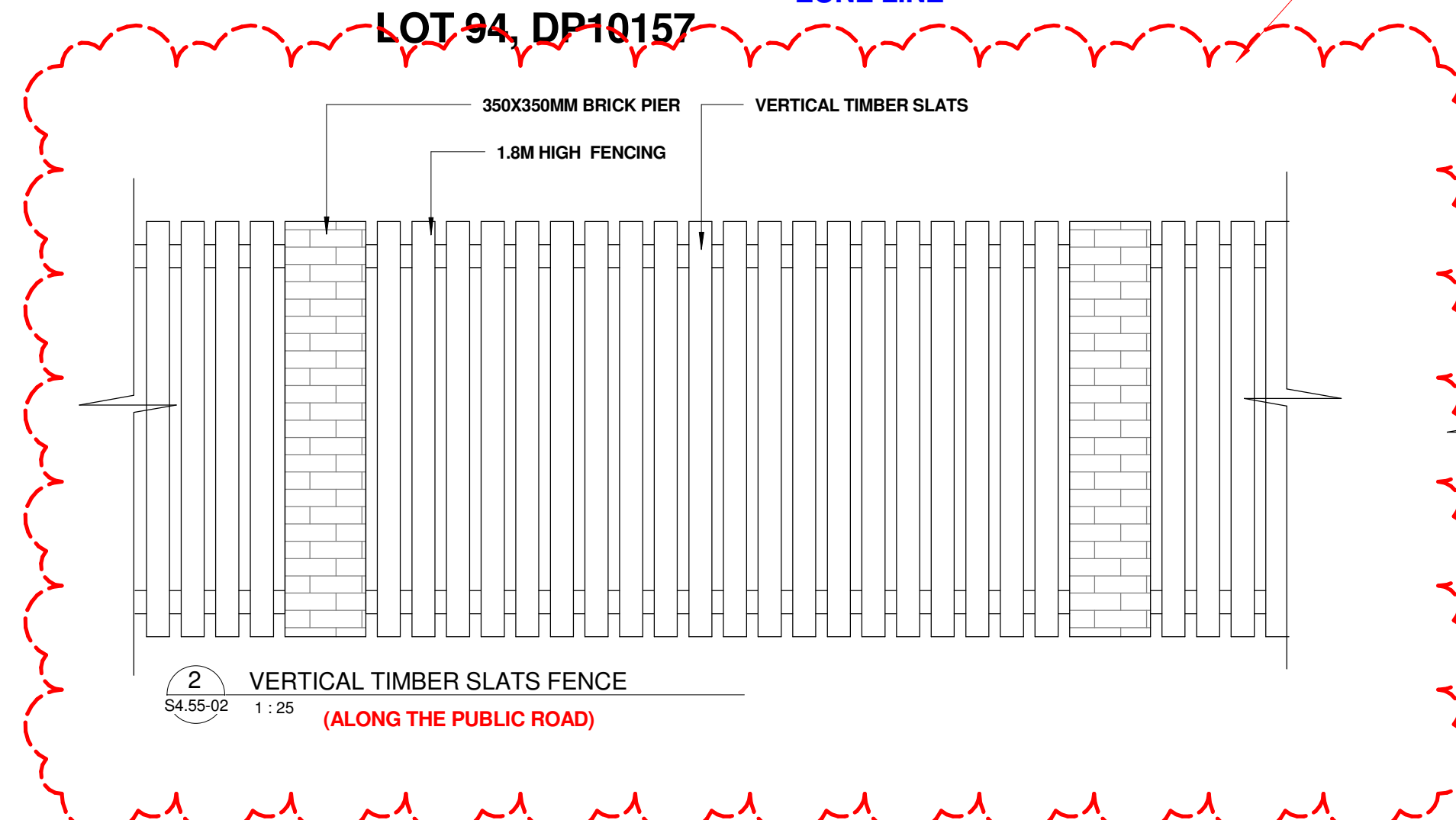
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LOT 94, DP10157



2 VERTICAL TIMBER SLATS FENCE
S4.55-02 1:25
(ALONG THE PUBLIC ROAD)

FENCE DETAIL AMENDED

1.8M HIGH COLORBOND FENCING

3 COLOURBOND FENCE
S4.55-02 1:25

Energy Rating

Certificate Number 949239M_03

☐ single-dwelling rating

☒ multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

Recessed downlights confirmation:

☐ Rated with

☒ Rated without

Assessor Name/Number

Ingrid Tuffin VIC/BD4V/13/1652

Assessor Signature

Date 19/12/2019

- CLOTHES LINING
- AIR CONDITIONING UNIT
- RAIN WATER TANK
- TOW
- POS
- BUILDING SETBACK
- SITE BOUNDARY
- EXISTING TREE

(INTERNAL FENCE)

S4.55 ISSUE

PROJECT:
47 HYNDS ROAD,
BOXHILL NSW 2765

LOT NUMBER:
LOT 93 DP 10157

DRAWING TITLE:

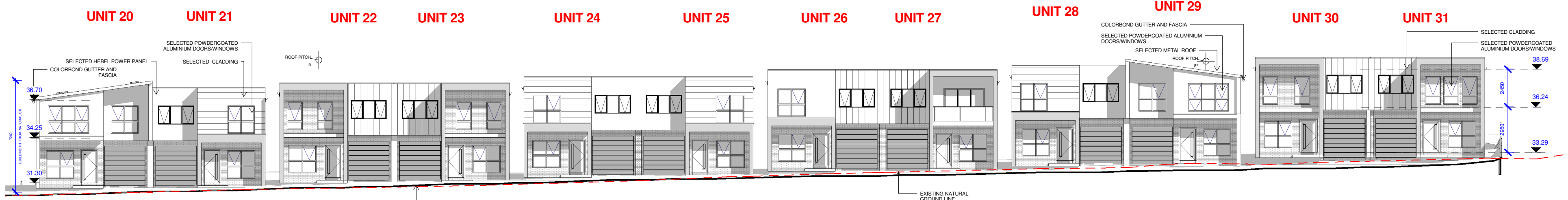
SITE PLAN

PROJECT No. 82	DATE: SEPT.2019	DRAWING No. S4.55-02	REV. 8
DRAWN BY: HR	SCALE: As indicated	ISSUED BY: JM	

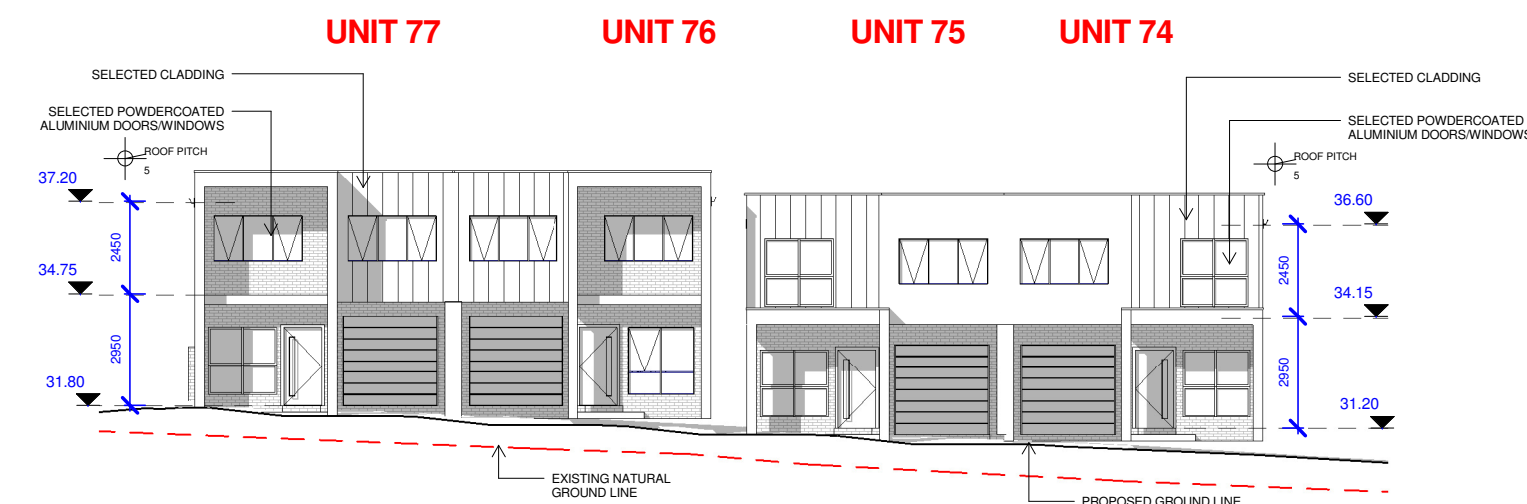
R:\Hynds Road 47 BOX HILL\05
S96\ARCHITECTURAL\107\HyndsRoad47_BOXHILL_DA R06.rvt



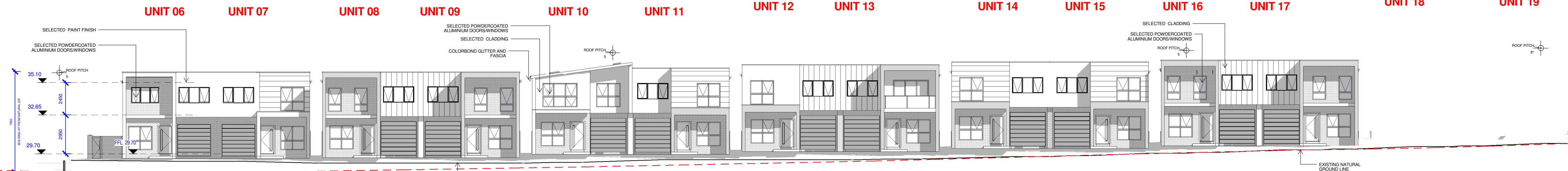
829.01.20 AMENDED AS PER COUNCIL EMAIL 16.01.2020 724.10.19 AMENDED AS PER COUNCIL EMAIL 06.09.19 620.08.19 BASIX & THERMAL SPECIFICATIONS REVISED 519.07.19 AMENDED AS PER COUNCIL MEETING 09.07.2019 402.05.19 AMENDED AS PER COUNCIL EMAIL 15.03.2019 306.02.19 AMENDED AS PER COUNCIL LETTER 23.11.2018 205.11.18 AMENDED AS PER COUNCIL LETTER 08.10.2018 REVDATEDESCRIPTIONBY			GENERAL NOTES: THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE DEVELOPER & THE REPRODUCTION OF ANY PART WITHOUT THE PRIOR WRITTEN CONSENT OF THE DEVELOPER IS A VIOLATION OF APPLICABLE LAWS. IN NO EVENT SHALL THE DEVELOPER BE HELD LIABLE FOR SPECIAL, COLLATERAL, INCIDENTAL OR CONSEQUENTIAL LIABILITY IN CONNECTION WITH THE USE OF THIS DIGITAL DATA ONCE RELEASED FROM THE DEVELOPER'S OFFICE. THIS DRAWING IS TO BE READ & UNDERSTOOD IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL & / OR ANY OTHER CONSULTANT'S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO THE START OF ANY WORKS AND FOR ITS DURATION.			NORTH: 02 9636 2465 02 9688 4762 www.bathla.com.au The Bathla Group137 Gibba Road, Girraween NSW 2145PO Box 270, Westworthville NSW 2145 Connect with usBuilding dreams together			PROJECT: 47 HYNDS ROAD, BOXHILL NSW 2765			LOT NUMBER: LOT 93 DP10157			DRAWING TITLE: ELEVATIONS-01			PROJECT No. 82 DATE: SEPT.2019 DRAWN BY: TT SCALE: 1:200			DRAWING No. S4.55-09 REV: 8 ISSUED BY: JM			S4.55 ISSUE R:Hynds Road 47 BOX HILL 05 S96/ARCHITECTURAL/IR07/HyndsRoad47_BOXHILL_DA R06.rvt		
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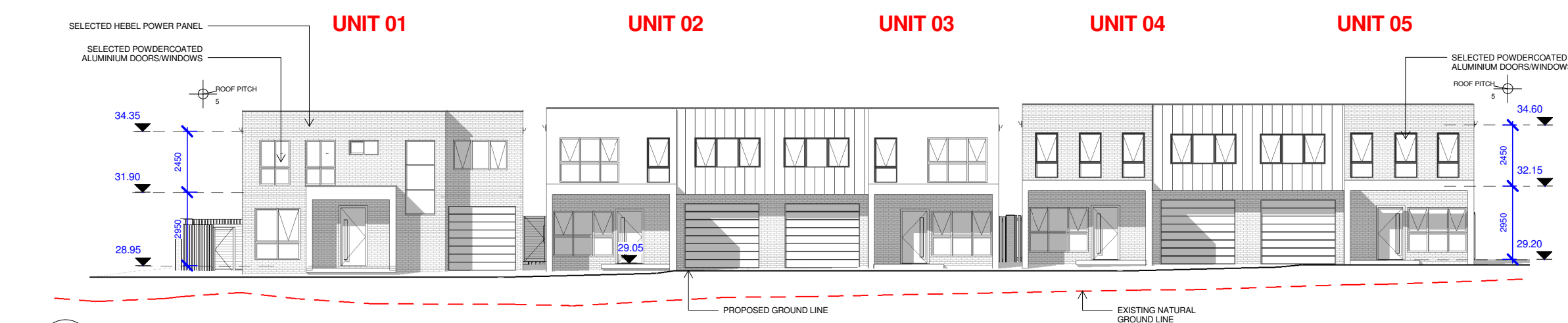
13 INTERNAL VIEW 2 STAGE 1 - PART 1
S4.55-10 1 : 200



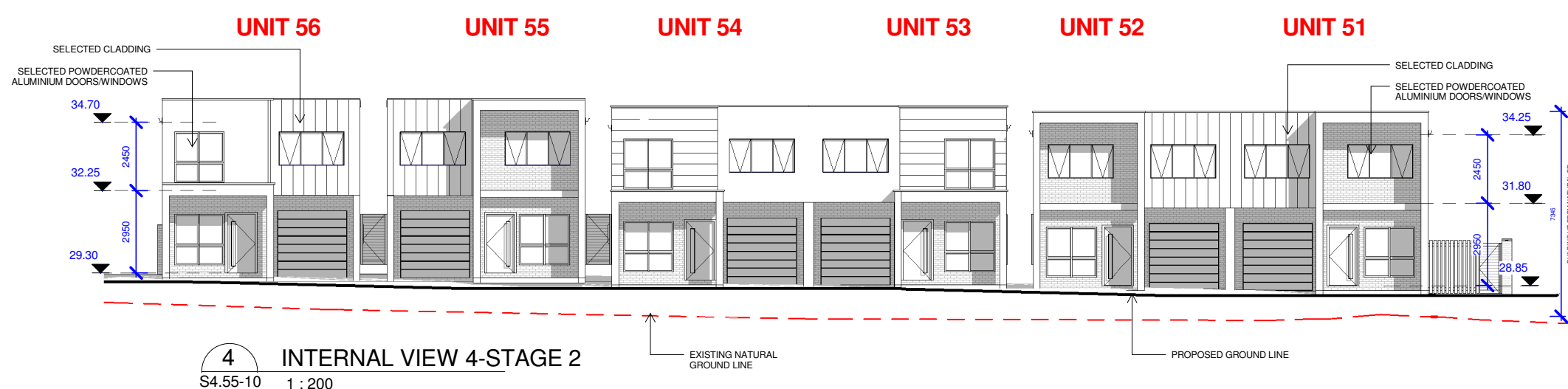
10 INTERNAL VIEW 10-STAGE 1
S4.55-10 1 : 200



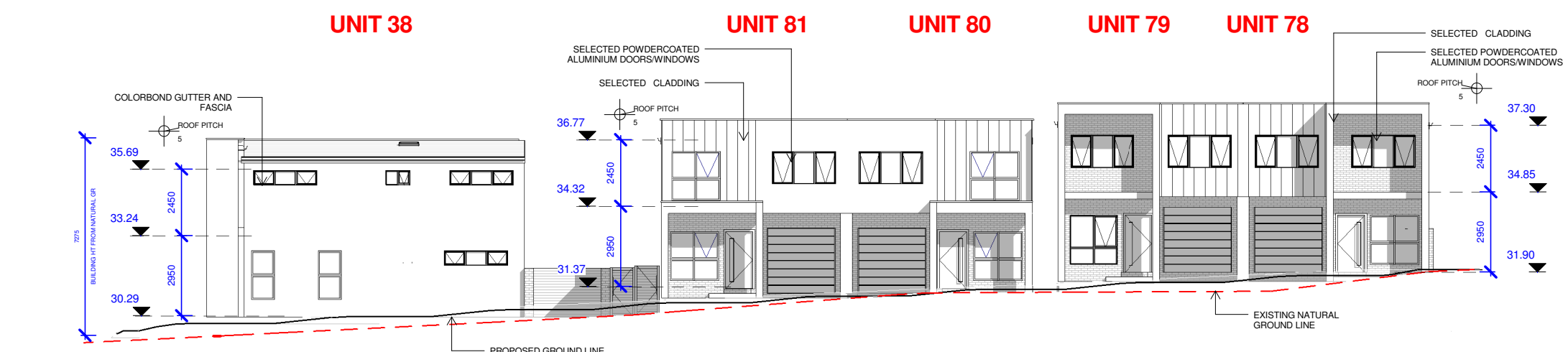
14 INTERNAL VIEW 2 STAGE 1 - PART 2
S4.55-10 1 : 200



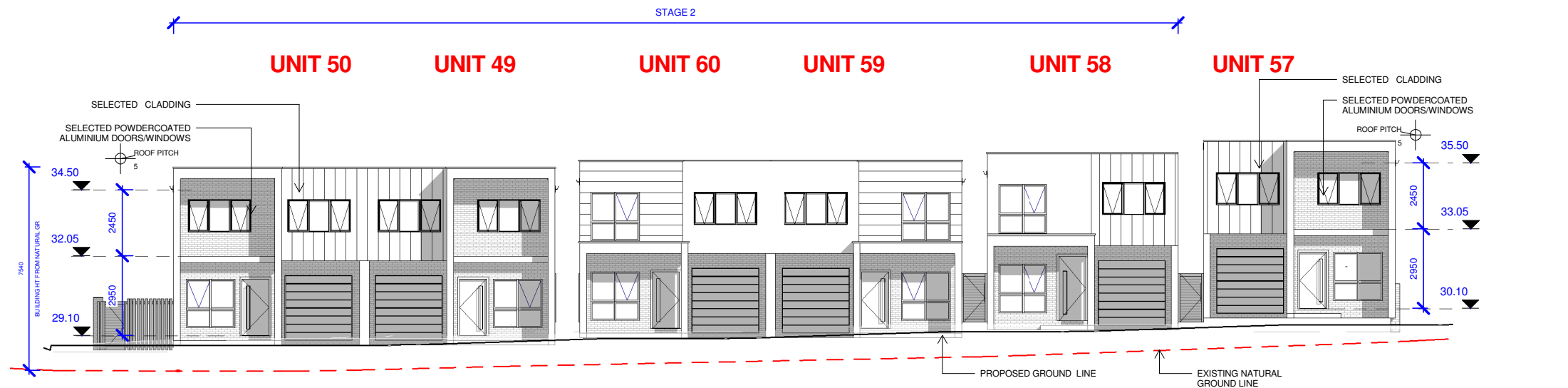
3 INTERNAL VIEW 3-STAGE 2
S4.55-10 1 : 200



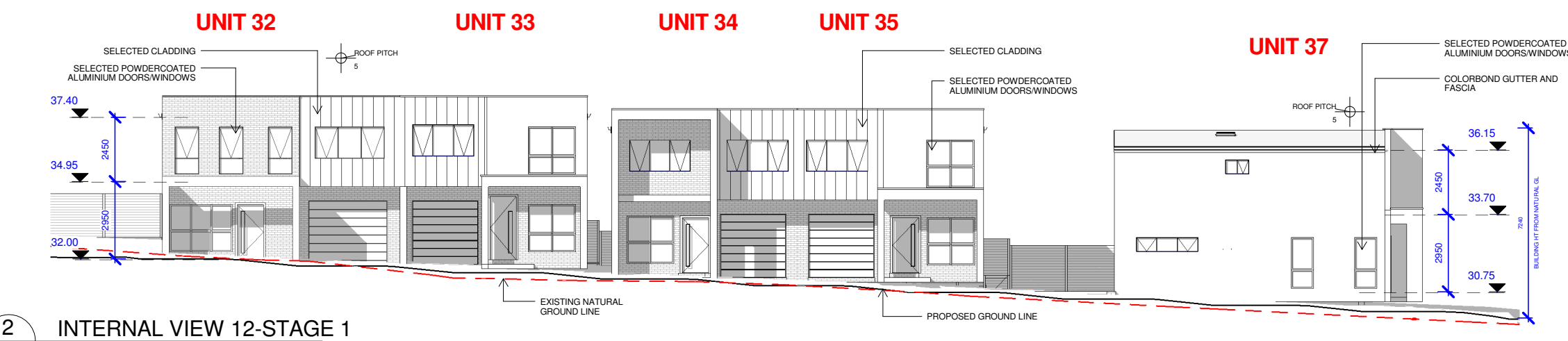
4 INTERNAL VIEW 4-STAGE 2
S4.55-10 1 : 200



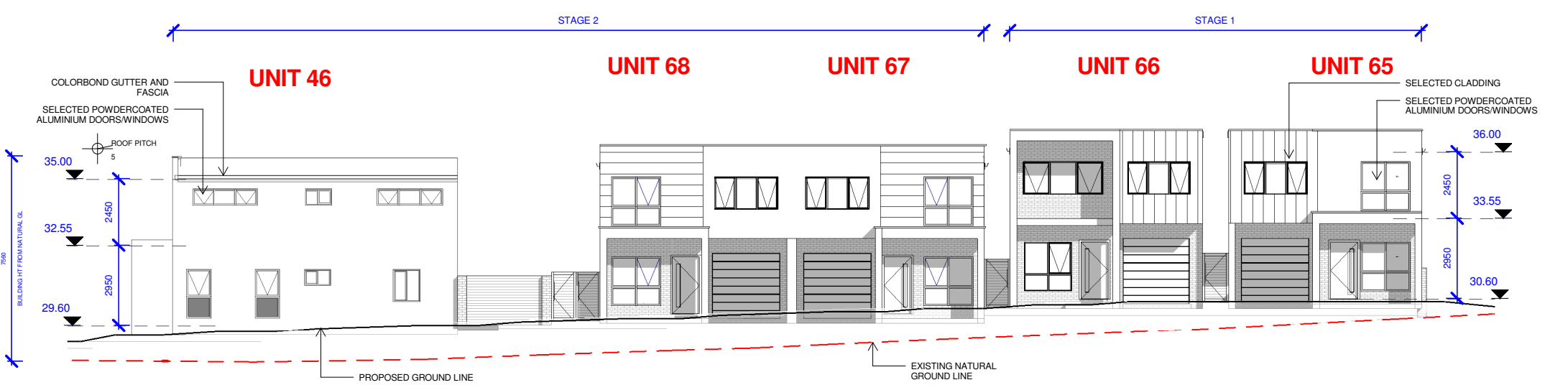
1 INTERNAL VIEW 11-STAGE 1
S4.55-10 1 : 200



5 INTERNAL VIEW 5
S4.55-10 1 : 200



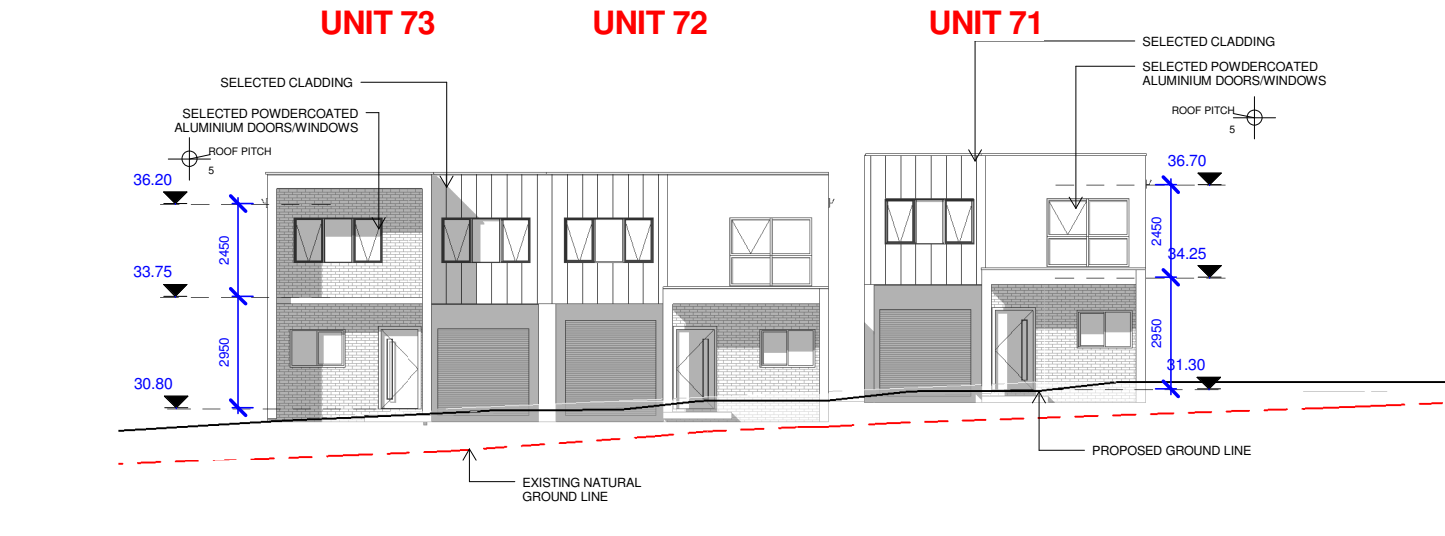
2 INTERNAL VIEW 12-STAGE 1
S4.55-10 1 : 200



7 INTERNAL VIEW 7
S4.55-10 1 : 200



8 INTERNAL VIEW 8-STAGE 1
S4.55-10 1 : 200



9 INTERNAL VIEW 9-STAGE 1
S4.55-10 1 : 200

Energy Rating		Certificate Number	949239M_02
☐ single-dwelling rating		heating	MJ/m ²
☒ multi-unit development (attach listing of ratings)		cooling	MJ/m ²
Recessed downlights confirmation:		☐ Railed with	☒ Railed without
Assessor Name/Number		Ingrid Tuffin	VIC/BDV/13/1652
Assessor Signature			Date 20/08/2019

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**APPROVED
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709/2017/JP/A**

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REV	DATE	DESCRIPTION	BY
7	24.10.19	AMENDED AS PER COUNCIL EMAIL 06.09.19	HR
6	20.08.19	BASIX & THERMAL SPECIFICATIONS REVISED	JM
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2	05.11.18	AMENDED AS PER COUNCIL LETTER 09.10.2018	JM
1	20.08.18	ISSUED FOR SECTION 4.55	TT

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PROJECT:
**47 HYNDS ROAD,
BOXHILL NSW 2765**

LOT NUMBER:
LOT 93 DP10157

DRAWING TITLE:
ELEVATIONS-02

PROJECT No. 82

DATE: SEPT.2019

DRAWN BY: HR

SCALE: 1 : 200

DRAWING No. S4.55-10

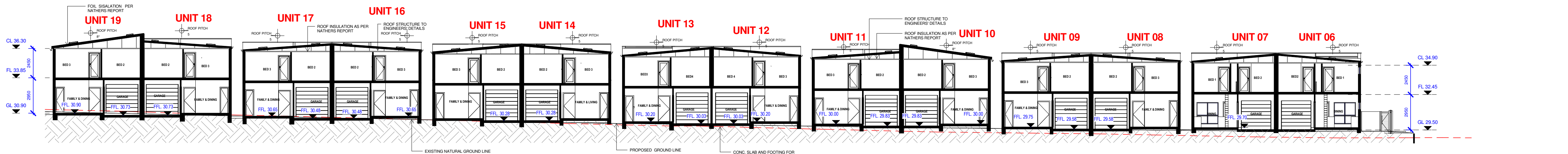
ISSUED BY: HR

REV: 7

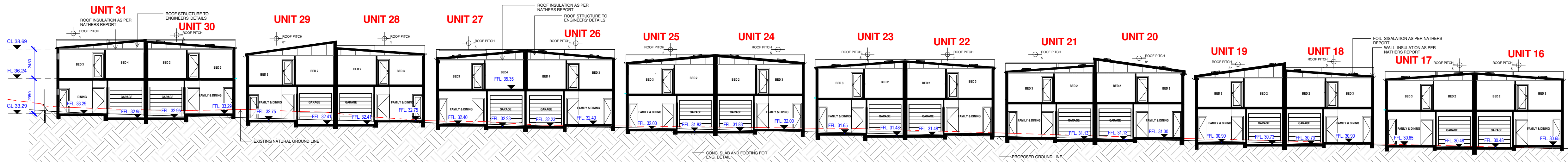
DATE: 20/08/2019

S96/ARCHITECTURAL/IR07/HyndsRoad47_BOXHILL_DA R06.rvt

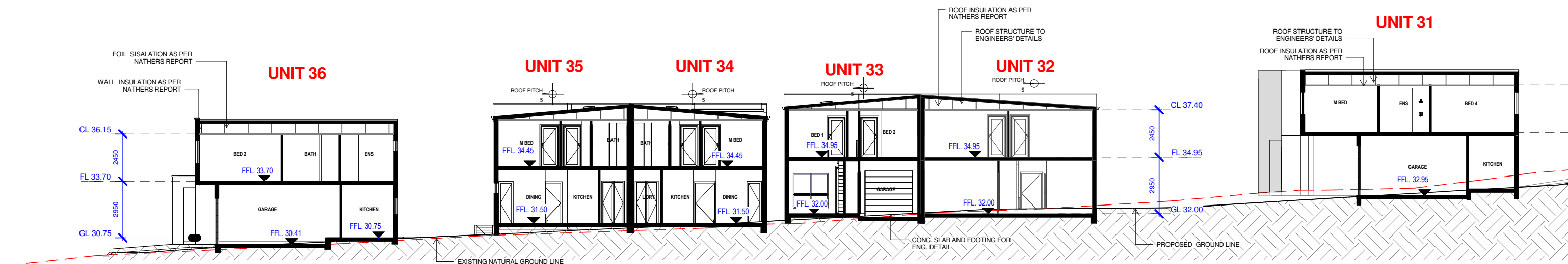
R:\Hynds Road 47 BOX HILL\05



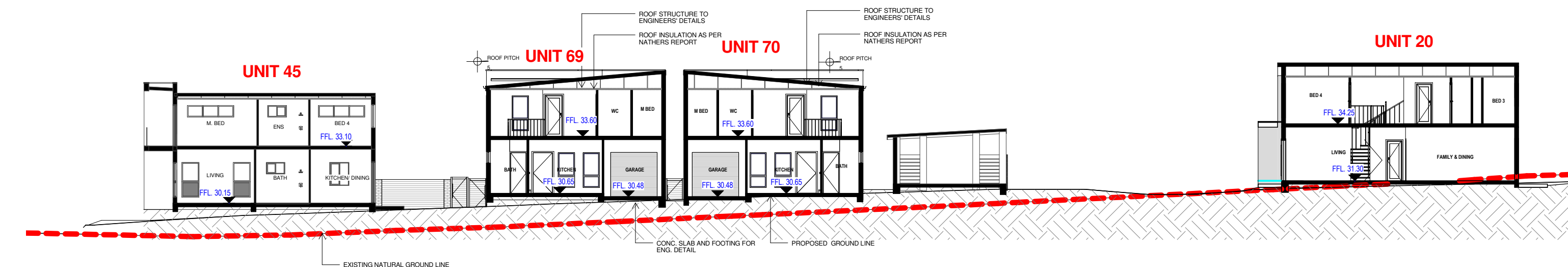
1 SECTION A-A PART 1
S4.55-11 1 : 200



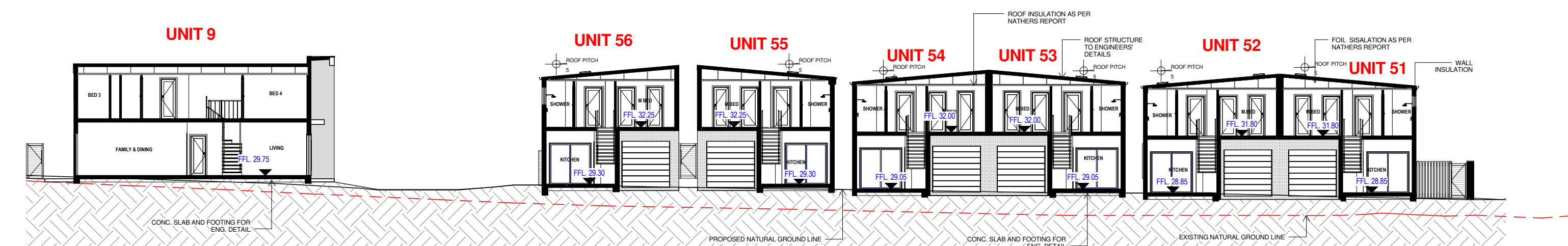
2 SECTION A-A PART 2
S4.55-11 1 : 200



5 SECTION B-B
S4.55-11 1 : 200



3 SECTION C-C
S4.55-11 1 : 200



4 SECTION D-D
S4.55-11 1 : 200

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complied with.

Energy Rating		Certificate Number	949239M_02
☐ single-dwelling rating			stars
☒ multi-unit development (attach listing of ratings)	heating	MJ/m ²	
If selected, data specified is the average across the entire development	cooling	MJ/m ²	
Recessed downlights confirmation:		☐ Rated with	☒ Rated without
Assessor Name/Number		Ingrid Tuffin	VIC/BD4V/13/1652
Assessor Signature			Date 20/08/2019

REV	DATE	DESCRIPTION	BY
7	24.10.19	AMENDED AS PER COUNCIL EMAIL 06.09.19	HR
6	20.08.19	BASIX & THERMAL SPECIFICATIONS REVISED	JM
5	19.07.19	AMENDED AS PER COUNCIL MEETING 09.07.2019	JM
4	02.05.19	AMENDED AS PER COUNCIL EMAIL 15.03.2019	JM
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2	05.11.18	AMENDED AS PER COUNCIL LETTER 09.10.2018	JM
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PROJECT:
**47 HYNDS ROAD,
BOXHILL NSW 2765**

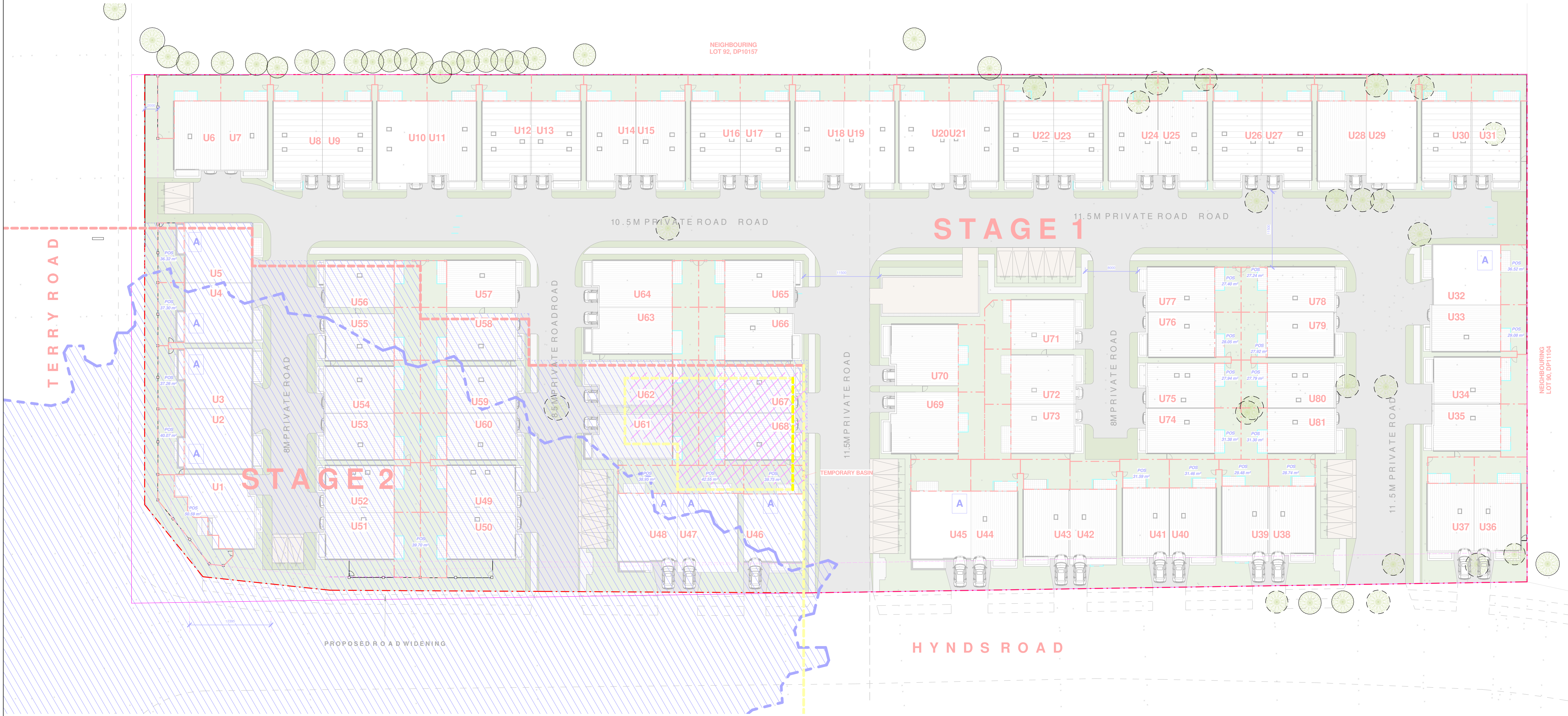
LOT NUMBER:
LOT 93 DP10157

DRAWING TITLE:
SECTIONS

PROJECT No.	82	DATE:	SEPT.2019	DRAWING No:	S4.55-11	REV:	7
DRAWN BY:	HR	SCALE:	1 : 200	ISSUED BY:	HR		

R:Hynds Road 47 BOX HILL NSW
S96/ARCHITECTURAL/IR07HyndsRoad47_BOXHILL_DA R06.rvt

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1 TREE REMOVAL PLAN
S4.55-12 1:300

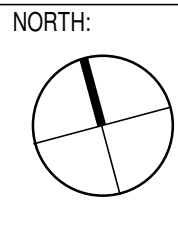
LEGEND

TREES TO BE RETAINED

TREES TO BE REMOVED

REV	DATE	DESCRIPTION	BY
4	02.05.19	AMENDED AS PER COUNCIL EMAIL 15.03.2019	JM
3	06.02.19	AMENDED AS PER COUNCIL LETTER 23.11.2018	JM
2	05.11.18	AMENDED AS PER COUNCIL LETTER 09.10.2018	JM
1	20.08.18	ISSUED FOR SECTION 4.55	TT

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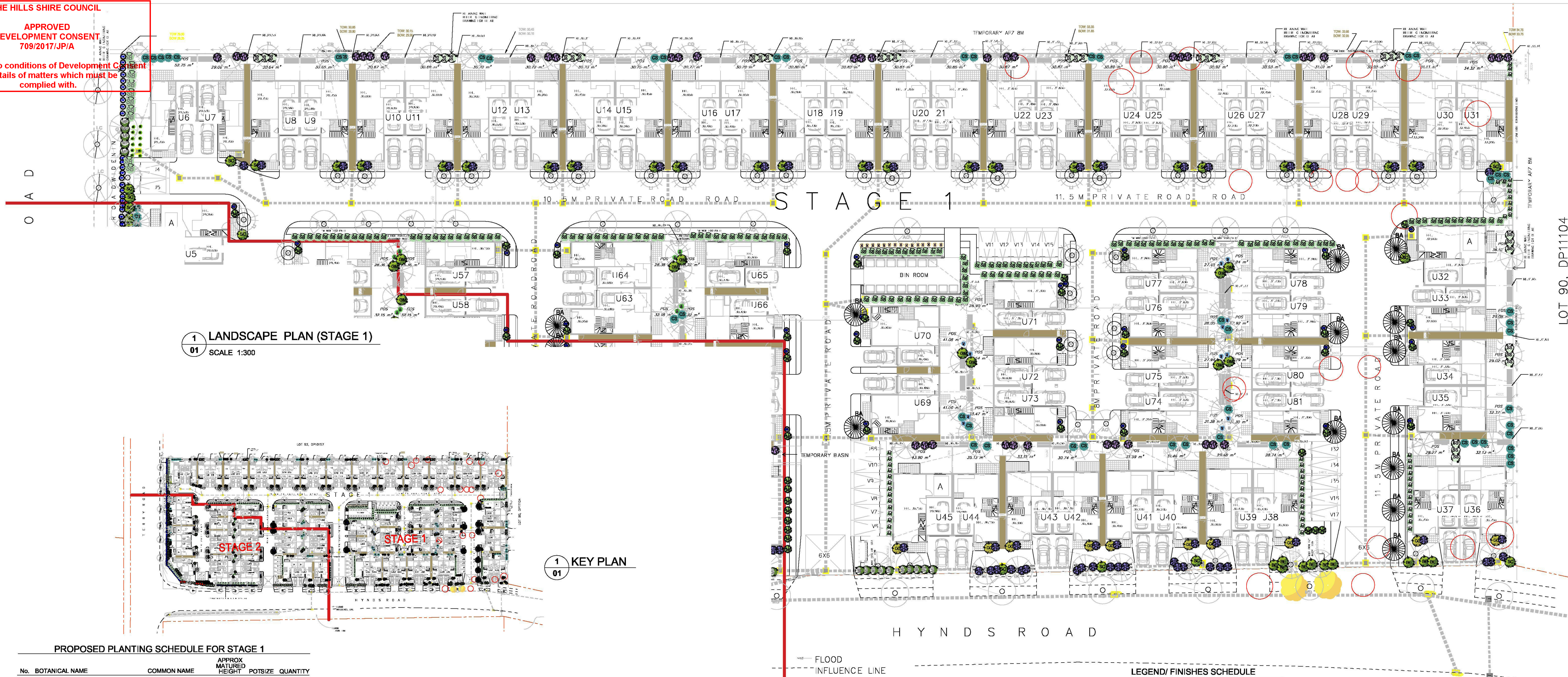
PROJECT:
**47 HYNDS ROAD,
BOXHILL NSW 2765**

LOT NUMBER:
LOT 93 DP 10157

DRAWING TITLE:
TREE REMOVAL PLAN

PROJECT No. 82	DATE: SEPT.2019	DRAWING No. S4.55-12	REV: 4
DRAWN BY: HR	SCALE: 1:300	ISSUED BY: JM	

R:\Hynds Road 47 BOX HILL\05
S96\ARCHITECTURAL\07\HyndsRoad47_BOXHILL_DA R06.rvt

Please refer to conditions of Development Consent
for details of matters which must be
complied with.

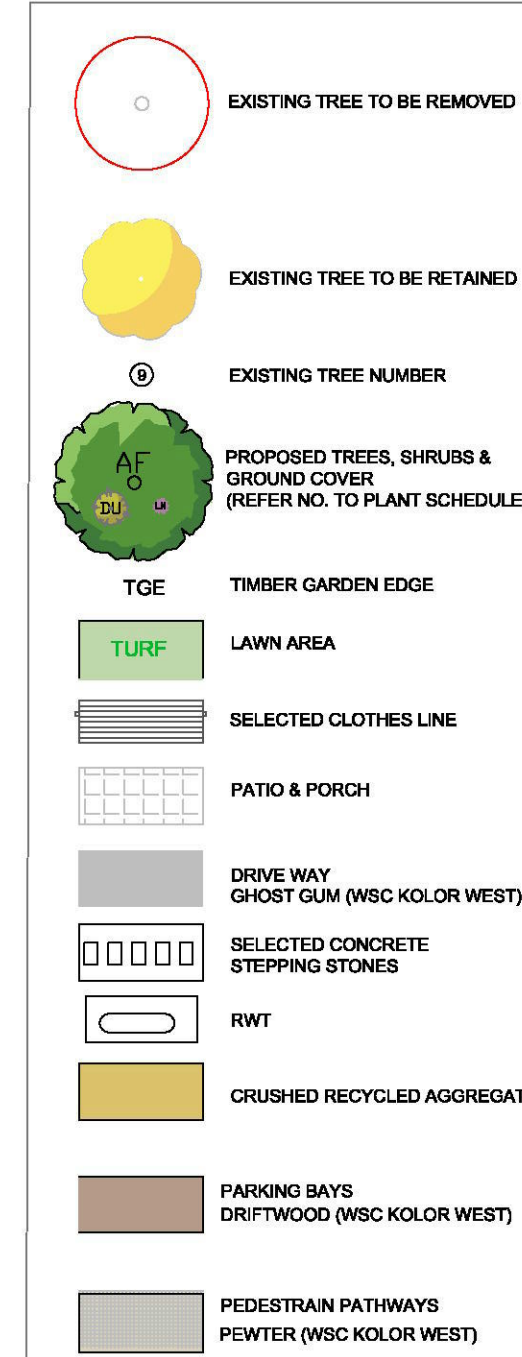
GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK DA CONDITIONS AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL.
- * REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD DETAILS / FINAL LEVELS.
- * MULCHED PLANTING BEDS TO BE A MINIMUM DEPTH OF 75MM AS SELECTED.
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED.
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, ie TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEED MAT BENEATH GRAVEL PATHWAYS REQUIRED TO LIMIT MUD TRACKING.
- * PREMIUM ORGANIC GARDEN MIX TO BE USED.
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS.
- * CONTRACTOR TO MAKE GOOD TURF ON NATURE STRIP POST CONSTRUCTION.
- * DO NOT SCALE ARCHITECTURAL SETOUT FROM LANDSCAPE DRAWING.
- * EXISTING TREE SPREAD APPROXIMATE ONLY. REFER TO TREE REPORT WHEN APPLICABLE.
- * SITE SURVEY PROVIDED BY OTHERS.
- * BUFFALO TURF PREFERRED OVER KIKUYU.

PLANTING AND MAINTENANCE NOTES:-

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED. PLANTS TO BE MOUNDED WITHIN THESE SOIL TYPES.
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE.
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
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- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED.
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERIES CAN SUBSTITUTE).
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND.
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

LEGEND / FINISHES SCHEDULE



ITEM	MATERIAL
DRIVEWAY	SELECTED COLOURED CONCRETE
PATIO	SELECTED TILES
PARTY	SELECTED COLOURED CONCRETE
SOIL	LAWN AREA
NOTE:	1st QUALITY TOP SOIL
	ALL SOIL TYPE A8
	PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT
LAWN	BIR WALTER BUFFALO
	REFER TO DETAIL 1
MULCH	SELECTED HARD WOOD CHIP
	DECORATIVE GRAVEL TO OSD AREA
	REFER TO DETAIL 1 & 2
PLANT MATERIAL	AS PER PLANT SCHEDULE
GARDEN EDGE	SELECTED TIMBER EDGING
	OR AS SELECTED
	REFER TO DETAIL 1
RETAINING WALL	SELECTED MASONRY RETAINING WALL
	AND DRAINAGE
	TO ENG. DETAIL
ILLUMINATION	SELECTED BOLLARD ILLUMINATION
	IN ACCORDANCE WITH
	AS1158.3.1:1999
FENCE	SIDES & REAR BOUNDARY
	1800 HIGH LAPPEL & CAPPED
	TIMBER FENCE
	OR
	1800 HIGH COLOURBOND
	COURTYARD SEPARATION FENCE
	1800 HIGH LAPPEL & CAPPED
	TIMBER FENCE
	OR
	1800 HIGH COLOURBOND
	FRONT
	- REFER TO ARCHITECT'S DETAIL

GENERAL NOTES:

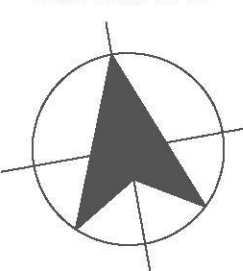
- ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
- LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
- FOUNDED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
- WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
- STORMWATER IS TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
- ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING

ISSUED FOR:

- ☐ COUNCIL MEETING
- ☒ DEVELOPMENT APPLICATION
- ☐ SECTION 96
- ☐ ISSUE FOR CONSTRUCTION CERTIFICATE

ISSUE	AMENDMENTS	DATE	DRAWN	CHKD
R06		16/01/2020	SS	
R05	AMENDED AS PER COUNCIL COMMENTS	7/11/2019	SS	
R04	AMENDED AS PER ARCHITECTURAL DRAWING	29/04/2019	SHK	
R03	AMENDED AS PER ARCHITECTURAL DRAWING	10/08/2018	SHK	
R02	ISSUED FOR COUNCIL APPROVAL	01/11/2017	SS	
R01	ISSUED FOR DEVELOPMENT APPLICATION			

TRUE NORTH:

DRAWING NUMBER:
LP01/02DRAWING TITLE:
LANDSCAPE PLAN (SATGE 1)SCALE:
1:500 @A1DATE:
NOV 2019

ISSUE:

R05

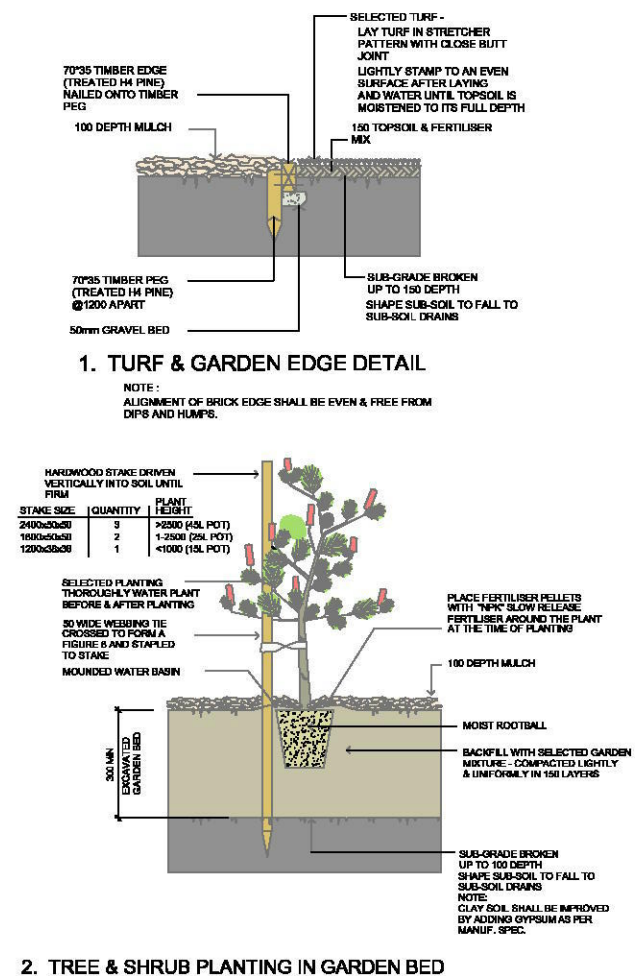
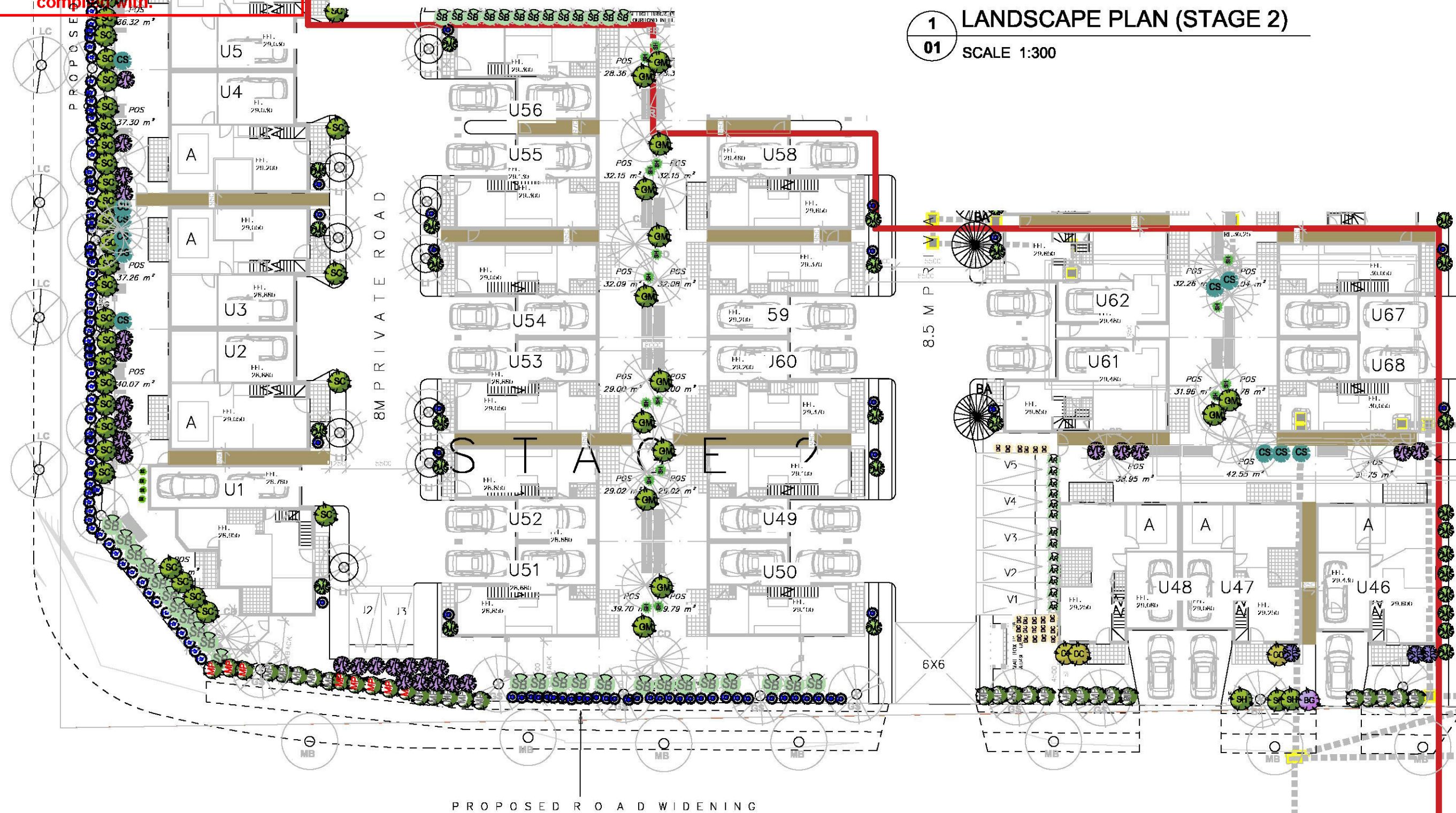
PROJECT:

47 HYNDS ROAD
47 HYNDS ROAD,
BOX HILL

Please refer to conditions of Development Consent
for details of matters which must be
complied with.

1 LANDSCAPE PLAN (STAGE 2)

01 SCALE 1:300



2. TREE & SHRUB PLANTING IN GARDEN BED

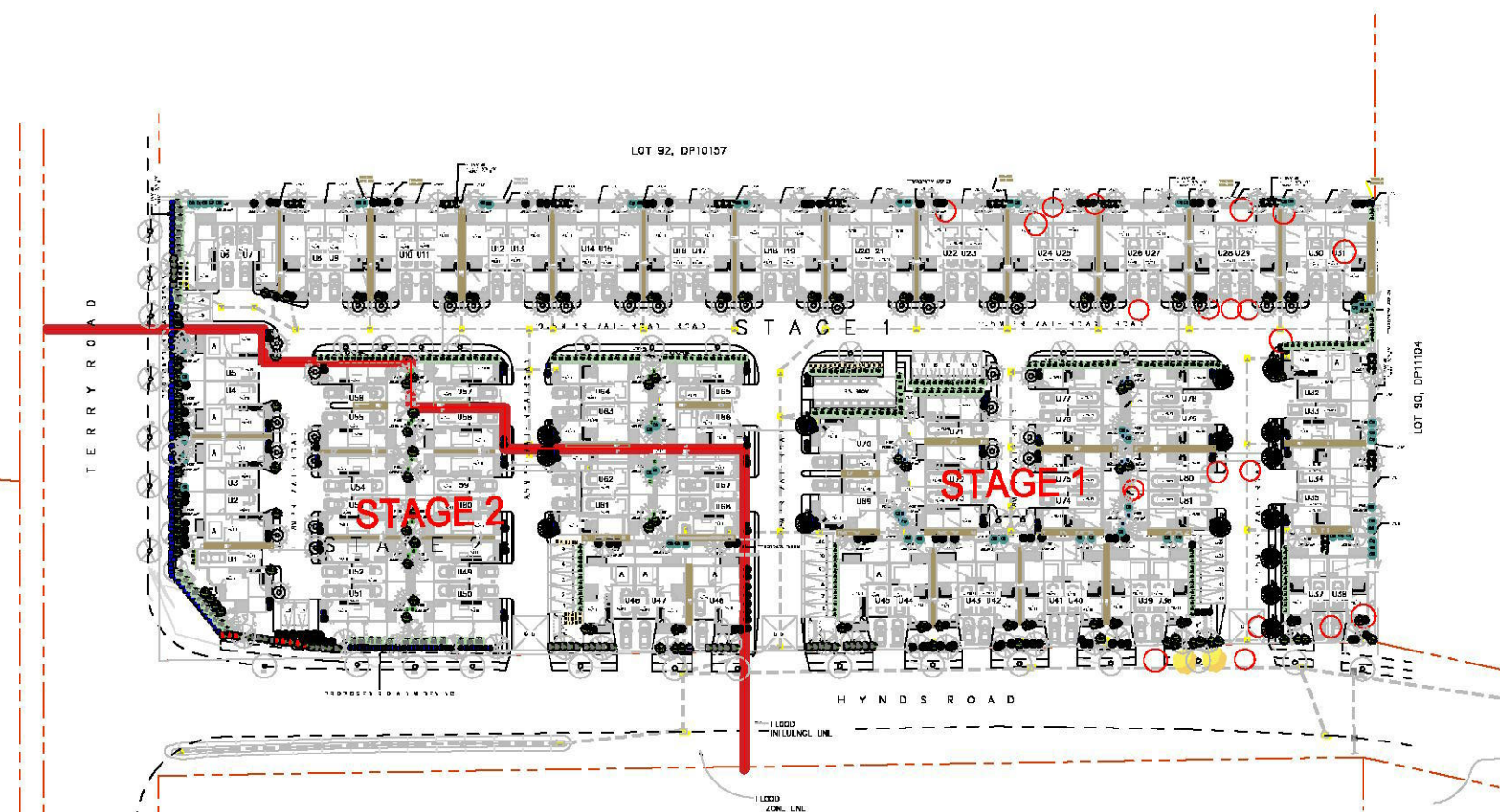
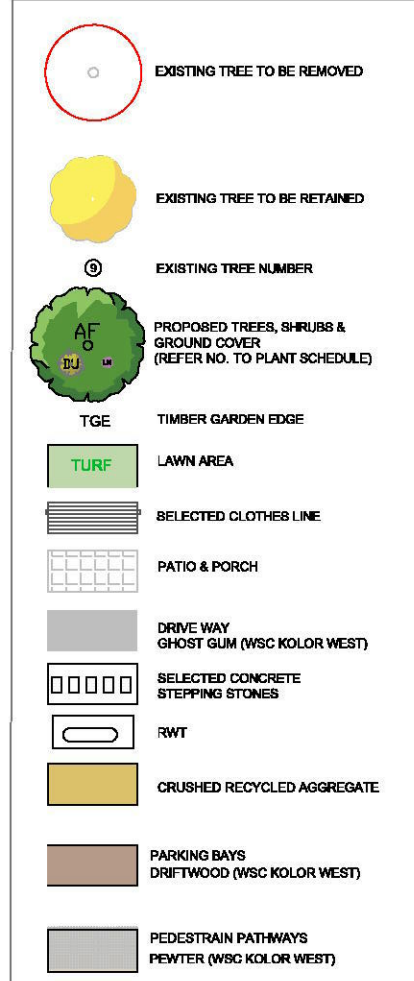
PROPOSED PLANTING SCHEDULE FOR STAGE 2

No.	BOTANICAL NAME	COMMON NAME	APPROX MATURED HEIGHT	POT SIZE	QUANTITY
SHRUBS					
AR	Acmena 'Redhead' *	Lilly pilli	TRIM	200mm	13
CC	Callistemon 'captain Cook' *	Bottlebrush	1.5m	200mm	3
CS	Callistemon 'slim' *	Bottlebrush	3m	200mm	16
DC	Diannella Caerulea *	Flax Lilly	0.8m	150mm	20
GF	Grevillea 'Fireworks' *	Grevillea	3m	200mm	39
GM	Grevillea 'Moonlight' *	Grevillea	3m	200mm	10
HV	Hebe 'Icing Sugar'	Hebe	1.5m	200mm	72
MG	Miscanthus Sinensis 'Gracillimus'	Miscanthus	1.5m	150mm	19
MP	Murraya paniculata	Orange Jessamine	TRIM	200mm	21
SC	Syzygium 'Cascade' *	Powder Puff Lilly pilli	1.5m	200mm	33
SE	Syzygium 'Elite' *	Lilly pilli	TRIM	200mm	3
SH	Syzygium 'Hinterland Gold' *	Lilly pilli	2m	200mm	12
VD	Viburnum 'Dense Fence' *	Viburnum	TRIM	200mm	27
SB	Syzygium 'bush xmas' *	Lilly pilli	3m	200mm	25
TREES					
AO	Acer 'October Glory'	Maple	10m	45 L	4
BI	Banksia Integrifolia *	Banksia	5-10m	45 L	1
BA	Brachychiton Acerifolius *	Illawarra Flame	5-10m	45 L	2
CD	Callistemon 'Dawson River Weeper'	Bottlebrush	5-10m	45 L	13
GS	Gleditsia 'shademaster'	Gleditsia	10m	45 L	8
LI	Lagerstroemia Indica	Crepe Myrtle	5-10m	45 L	9
LC	Lophostemon Confertus *	Brushbox	10m	45 L	7
MB	metaleuca Bracteata	Revolution green	5-10m	45 L	7

* = Native species

ITEM	MATERIAL
DRIVEWAY	SELECTED COLOURED CONCRETE
PATIO	SELECTED TILES
PATH	SELECTED COLOURED CONCRETE
SOIL	LAWN AREA
NOTE:	ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT
LAWN	SIR WALTER BUFFALO
MULCH	SELECTED HARD WOOD CHIP
PLANT MATERIAL	AS PER PLANT SCHEDULE
GARDEN EDGE	SELECTED TIMBER EDGING OR AS SELECTED REFER TO DETAIL 1
RETAINING WALL	SELECTED MASONRY RETAINING WALL AND DRAINAGE TO ENG. DETAIL
ILLUMINATION	SELECTED BOLLARD ILLUMINATION IN ACCORDANCE WITH AS158.3.1:1999
FENCE	SIDES & REAR BOUNDARY 1800 HIGH LAPPED & CAPPED TIMBER FENCE OR 1800 HIGH COLOURBOND COURTYARD SEPERATION FENCE 1800 HIGH LAPPED & CAPPED TIMBER FENCE OR 1800 HIGH COLOURBOND FRONT - REFER TO ARCHITECT'S DETAIL

LEGEND/ FINISHES SCHEDULE



1 KEY PLAN

01

GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK DA CONDITIONS AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL.
- * REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD DETAILS / FINAL LEVELS.
- * MULCHED PLANTING BEDS TO BE A MINIMUM DEPTH OF 75MM AS SELECTED.
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED.
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, ie TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEED MAT BENEATH GRAVEL PATHWAYS REQUIRED TO LIMIT MUD TRACKING.
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- * EXISTING TREE SPREAD APPROXIMATE ONLY. REFER TO TREE REPORT WHEN APPLICABLE.
- * SITE SURVEY PROVIDED BY OTHERS.
- * BUFFALO TURF PREFERRED OVER KIKUYU.

PLANTING AND MAINTENANCE NOTES:-

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- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED.
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- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND.
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

TYPICAL PLANT SELECTION CRITERIA - ADD03-2013
TREE STOCK FOR LANDSCAPE USE FOR FINAL SPEC.

ENSURE GOOD HEALTH AND VIGOUR. ENSURE FREEDOM FROM PESTS, DISEASES AND INJURY.

SPECIMENS SHOULD BE SELF SUPPORTING AT TIME OF PLANTING - STAKING ONLY TO BE USED WHEN NECESSARY - 1 GROWING SEASON MAX.

ENSURE EVIDENCE OF STEM TAPER - (INCREASE IN CALIPER DOWN THE STEM).

PRUNING:

*ENSURE CLEAN STEM HEIGHT DOES NOT EXCEED 40% OF PLANT HEIGHT.

*ENSURE CUTS ARE AT BRANCH COLLAR ARE CLEAN WITH NO TEARS.

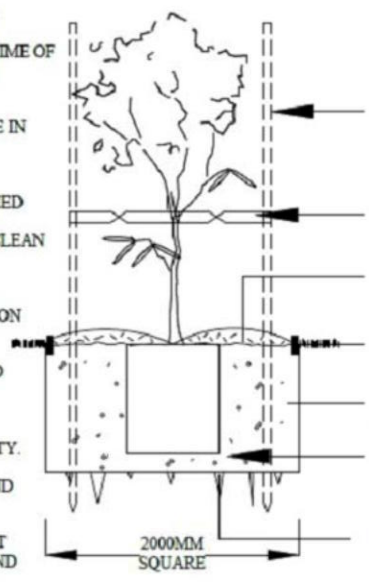
ENSURE APICAL DOMINANCE FOR TREES WITH TYPICAL EXCURRENT FORM - LEADER DEVIATION <15%.

ENSURE GOOD CROWN SYMMETRY AND SOUND STEM FUNCTIONS - NO INCLUDED BARK.

ENSURE SPECIMENS / BATCHES ARE CLEARLY LABELED - NOTING SPECIES CULTURAL VARIETY.

ENSURE SPECIMENS ARE FREE OF GIRDLING AND SUCKERING ROOTS.

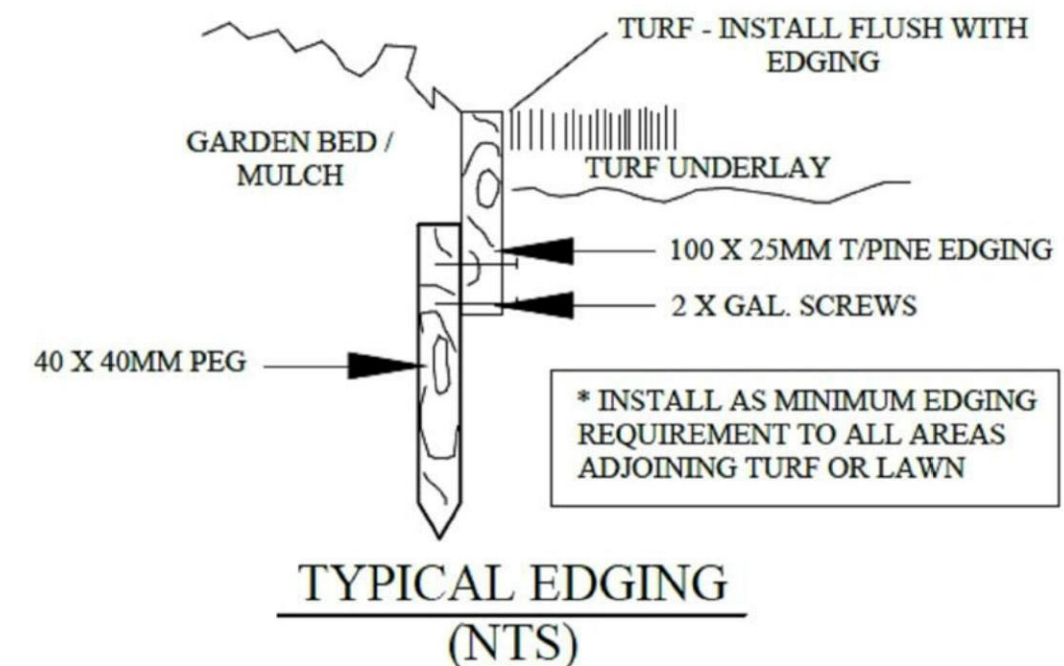
ENSURE TRUNK PORTION IS WITHIN 10% OF POT CENTRE. IF TREE IS GRAFTED ENSURE SCION AND ROOTSTOCK ARE SOUND.



45-75LTR TYPICAL PLANTING (NTS)

TYPICAL PLANTING CRITERIA

- *SEEK ADVICE BEFORE SUBSTITUTING SPECIES
- *REPLACEMENTS TO BE MADE WITHIN 12 MONTHS
- *3x 40MM HARDWOOD STAKES AS REQUIRED. DON'T PIERCE ROOT BALL.
- (NOTE - ONLY REQUIRED IN WINDY ENVIRONMENTS, VERY SANDY SOIL AND VERY WET CLAY - IF STAKING REQUIRED - REMOVE AS SOON AS PRACTICALLY POSSIBLE).
- *80MM WIDE RITE WEBBER - TWIST ONCE AND GAL. STAPLE TO OUTSIDE OF STAKE. ENSURE TREE HAS AMPLE MOVEMENT
- *75 - 100MM SELECTED MULCH - DASH AROUND BASE OF TRUNK. TOP OF ROOT BALL TO FINISH FLUSH WITH TOP OF SOIL.
- SELECTED EDGING - REFER TO DETAIL.
- EXCAVATE HOLE AND INCORPORATE SOIL AMENDMENTS TO 30% MAX IF REQUIRED.
- TAMP SOIL GENTLY AROUND AND BENEATH ROOT BALL SO ROOT BALL DOES NOT MOVE - WATER WEEKLY FOR MINIMUM 4 WEEKS TO ESTABLISH.
- SCARIFY SUB SOIL AND SIDES TO 100MM MINIMUM IN HEAVY CLAY SOILS. MAY BE REQUIRED TO MOUND PLANT.



TYPICAL EDGING (NTS)

GENERAL NOTES :

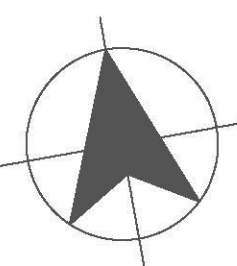
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7. STORMWATERS TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3
8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING

ISSUED FOR :

- ☐ COUNCIL MEETING
- ☒ DEVELOPMENT APPLICATION
- ☐ SECTION 96
- ☐ ISSUE FOR CONSTRUCTION CERTIFICATE

R06					
R05	AMMENDED AS PER COUNCIL COMMNETS	16/01/2020	SS		
R04	AMMENDED AS PER ARCHITECTURAL DRAWING	7/11/2019	SS		
R03	AMMENDED AS PER ARCHITECTURAL DRAWING	29/04/2019	SHK		
R02	ISSUED FOR COUNCIL APPROVAL	10/08/2018	SHK		
R01	ISSUED FOR DEVELOPMENT APPLICATION	01/11/2017	SS		
ISSUE	AMENDMENTS	DATE	DRAWN	CHKD	

TRUE NORTH :



DRAWING NUMBER :

LP01/02

DRAWING TITLE :

LANDSCAPE PLAN (SATGE 2)

SCALE:
1:500 @A1DATE:
NOV 2019

ISSUE :

R05

PROJECT :

47 HYNDS ROAD
47 HYNDS ROAD,
BOX HILL

TERRY ROAD



1 SITE COVERAGE/LANDSCAPE AREA PLAN
S4.55-14 1:300

- - cluster mailbox 1 + Proprietor mailbox
- - cluster mailbox 2
- - cluster mailbox 3
- - Individual mail boxes to Hynds Rd, future numbers.
- - Position of directional signage.

TABLE UPDATED AS PER
AMENDED PLANS

A	■	TOTAL SITE AREA	16720.0 MP
B	■	TOTAL DWELLING AREA	8302.0 MP
C	■	TOTAL ROAD & DRIVEWAY AREA	4502.0 MP
D	■	TOTAL PORCH & PATIO AREA	648.0 MP
E	■	TOTAL FOOTPATH AREA	279.0 MP
F	■	TOTAL VISITOR PARKING AREA	397.0 MP
	■	TOTAL LANDSCAPE AREA (A+B+C+D+E+F)	12292.0 MP (73.5%)
		SITE COVERAGE (100% MAX)	100%

DO NOT SCALE
USE FIGURED DIMENSIONS AT ALL TIMES. IF IN DOUBT CHECK WITH THE BUILDING CONTRACTORS TO CHECK AND
VERIFY ALL LEVELS, DATINGS AND DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS
TO THE SURVEYOR PRIOR TO COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE.

REV	DATE	DESCRIPTION	BY
7	24.10.19	AMENDED AS PER COUNCIL EMAIL 06.09.19	HR
6	20.08.19	SASIX & THERMAL SPECIFICATIONS REVISED	JM
5	15.07.19	AMENDED AS PER COUNCIL MEETING 09.07.2019	JM
4	02.05.19	AMENDED AS PER COUNCIL EMAIL 15.03.2019	JM
3	01.02.19	AMENDED AS PER COUNCIL LETTER 23.11.2018	JM
2	05.11.18	AMENDED AS PER COUNCIL LETTER 09.10.2018	JM
1	20.08.18	ISSUED FOR SECTION 4.55	TT

GENERAL NOTES:
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PO Box 10, Strathmore VIC 3042
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Building dreams together

PROJECT
47 HYND'S ROAD,
BOXHILL NSW 2765

LOT NUMBER
LOT 93 DP10157

DRAWING TITLE
SITE
COVERAGE/LANDSCAPE
AREA PLAN

PROJECT No.	82	DATE	SEPT. 2019	DRAWING No.	S4.55-14	REV	7
DRAWN BY	HR	SCALE	As indicated	ISSUED BY	HR		

R Hynds Road 47 BOX HILL NSW
S96/ARCHITECTURAL/R07/HyndsRoad47_BOXHILL_Q4.R07.rvt